

**1.0 Call to Order**

**2.0 APPROVAL OF AGENDA**

**3.0 APPROVAL OF MINUTES –**

- A. July 2nd, 2025 Meeting Minutes

**4.0 Public Submissions**

- A.

**5.0 BUSINESS ARISING**

- A. Legal Update – In Camera

**6.0 Development Matters**

- A. Permit – 2025-DP-02

**7.0 New Business**

- A.

**8.0 Committee Reports**

- A. Councillor Reports

**9.0 CAO Reports**

- A. Disbursements, CAO Action List

**10.0 Response to Delegations**

- A.

**11.0 Additional Items**

- A.

**12.0 Correspondence**

- 

**NEXT MEETING September 3rd, 2025**

**ADJOURNMENT**

**3.0 A - July 2nd 2025 Minutes**

**Recommendation:**

*That Council approve the minutes from the July 2nd, 2025 Council Meeting Minutes as presented.*

**Background:**

Council Meeting Minutes are attached for review.

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MINUTES  
**SUMMER VILLAGE OF SUNSET POINT**  
REGULAR MEETING OF COUNCIL  
July 2nd

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**IN ATTENDANCE** Mayor Gwen Jones  
Deputy Mayor Riley Ekins  
Councillor Keir Packer  
Matthew Ferris CAO

**1.0 CALL TO ORDER** Mayor Jones called the meeting to order at 5:16pm

**2.0 Approval of AGENDA** MOVED by Mayor Jones that that the July 2nd 2025 Agenda be approved as amended with the addition of the Fibre Optic Proposal.

2025-98

Carried

**3.0A APPROVAL OF Minutes** MOVED by Mayor Jones that Council approves the June 10<sup>th</sup> 2025 Council Meeting Minutes as amended.

#2025-99

Carried

MOVED by Deputy Mayor Ekins that Council approves the June 30<sup>th</sup> Minutes as presented.  
#2025-99

Carried

**4.0A Public Submission -**

Concern about questioning eligibility and spending village tax dollars. Believes should be up to electorate-Blair Gelger

MOVED by Deputy Mayor Ekins that Council accepts 4.0a for information.

#2025-99

Carried

**5.0A Financial Statement**

Moved by Councillor Packer that the 2024 Financial Statements be adopted as presented.

Moved by Deputy Mayor Ekins that Council accepts the Audit Finding Report as presented

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MINUTES  
SUMMER VILLAGE OF SUNSET POINT  
REGULAR MEETING OF COUNCIL  
July 2nd

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**5.0B MEMP**

Moved by Councillor Packer that Council adopts the Sunset Point MEMP as presented information.

Res. #2025-100

Carried

Recess at 5:33pm to relocate vehicles for east end bus  
Resume meeting at 5:36pm

**6.0 Development Matters**

NA

**8.0 Committee Reports**

**A. Council Reports**

2025-107      MOVED by Deputy Mayor Ekins that Council accept the Committee Reports for information.

CARRIED

**9.0 CAO REPORTS**

**A. Reconciliation, Disbursements and Action List**

2025-108      MOVED by Deputy Mayor Ekins that Council accept the report for information.

CARRIED

**10.0 Response to Delegates**      na

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MINUTES  
**SUMMER VILLAGE OF SUNSET POINT**  
REGULAR MEETING OF COUNCIL  
July 2nd

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**11.0 Additional Items**

**Fibre Optics**

2025-108                      MOVED by Mayor Jones that Administration authorizes the Connect Mobility to install on Fortis power poles on the condition that the entire village is serviced.

CARRIED

**12.0 Correspondence**

NA

**That Council calls a recess at 5:49pm**

2025-108                      MOVED by Mayor Jones that Council enters into closed session at XX regarding Item 9b and 9c in accordance with FOIP Sections 17, 20,21,22,23,24 at 5:xxpm

CARRIED

2025-108                      MOVED by Mayor Jones that Council come out of closed session at 621pm.

Riley That Council enters into the agreement with Matthew Ferris as presented.

CARRIED

Gwen That Council continue services with Real Life Management Solutions as an Advisory role terminating August 31<sup>st</sup> as agreed.

Keir That Council enter into a contract with Prime Municipal Services as discussed and hereby appoint Michael Primeau as CAO for the Summer Village of Sunset Point effective July 2<sup>nd</sup> 2025.

Riley That Council appoint Michael Primeau as signing authority for all Banking information for the Summer Village of Sunset Point

2025-112                      Being that the agenda matters had been concluded the meeting was adjourned at 6:21 PM by Mayor Jones.

CARRIED

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MINUTES  
**SUMMER VILLAGE OF SUNSET POINT**  
REGULAR MEETING OF COUNCIL  
July 2nd

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These minutes were approved this August 6<sup>th</sup> 2025

\_\_\_\_\_  
Mayor Jones

\_\_\_\_\_  
Matthew Ferris CAO

**6.0 A – Permit – 2025=DP-02**

**Recommendation:**

*That Council approve Development Permit 2025-DP-02 for a seasonal cabin on Lot 30, Plan 99220340, subject to conditions listed.*

**Background:**

Conditions and permit are included for review.

**Subject:** Development Permit Application – **Permit 2025-DP-02** (Lot 30, Plan 9920340 – Sunset Point Bible Camp Lands)

**Background:**

An application for a development permit has been submitted for the construction of a seasonal residential cabin approximately 104 square metres in size, located on Lot 30, Plan 9920340, within the Sunset Point Bible Camp lands. The application has been reviewed for compliance with the Summer Village of Sunset Point's Land Use Bylaw, the Direct Control provisions applicable to the site, and relevant provincial legislation.

The applicant has submitted all required documentation, including the Owner Builder Authorization under the New Home Buyer Protection Act, site plans, elevation drawings, and written authorization from the landowner, the Sunset Point Christian Camp Foundation.

**Recommendation:**

That Council approve **Development Permit 2025-DP-02** for a seasonal residential cabin on Lot 30, Plan 9920340, subject to the following conditions:

1. All construction shall take place in accordance with the information submitted in the application and this Administrative Report.
2. Notwithstanding Condition 1, the cabin (or any addition thereto) shall not exceed two (2) storeys or twenty-nine feet (29') in height.
3. The applicant shall obtain and adhere to all applicable permits from the appropriate authorities, including building, electrical, plumbing, drainage, and any other required permits related to the proposed development.
4. The property must be landscaped in such a manner to prevent surface drainage onto adjacent properties.
5. The applicant shall be financially responsible during construction for any damage caused by the applicant, their agents, suppliers, or contractors to public or private property.
6. The applicant shall ensure no excess soil or debris is spilled on public roads or lanes and shall not place material on adjacent properties without written permission from those property owners.
7. All improvements approved under this permit must be completed within twelve (12) months of the effective date of approval.



8. As this is a Direct Control (DC) District, there is no right of appeal to the Subdivision and Development Appeal Board. The only avenue of appeal is to the Alberta Court of Appeal on a question of law or jurisdiction.
9. The development shall be connected to the Tri-Village Sewer Line within thirty (30) days of construction completion.
10. Any damage to Village infrastructure caused by construction shall be repaired by the applicant to the satisfaction of the Summer Village.
11. The development is seasonal in nature and year-round occupancy is strictly prohibited.

**FOIP Considerations:**

Personal identifiers and private information have been excluded from the public agenda. All documents containing personal information are managed in accordance with the Freedom of Information and Protection of Privacy Act (FOIP).

**Options for Council:**

1. Approve **Development Permit 2025-DP-02** with the conditions as outlined.
2. Approve the permit with amendments.
3. Refuse the permit and provide rationale.

# Summer Village of Sunset Point

## APPLICATION FOR DEVELOPMENT PERMIT

**DEVELOPMENT PERMITS MUST BE DEEMED COMPLETE WITHIN 20 DAYS  
OF RECEIPT (FEE MUST BE INCLUDED) - DECISION 40 DAYS - COMPLETE**

I HEREBY MAKE APPLICATION UNDER THE PROVISIONS OF THE LAND USE BYLAW  
FOR A DEVELOPMENT PERMIT, IN ACCORDANCE WITH THE PLANS AND SUPPORTING  
INFORMATION SUBMITTED HERewith AND WHICH FORM PART OF THIS APPLICATION.

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Telephone @ Work: \_\_\_\_\_

email address: \_\_\_\_\_

Registered Owner: \_\_\_\_\_

Mailing Address (if different from above): \_\_\_\_\_

Interest of Applicant (if not the registered owner): \_\_\_\_\_

Legal Description:

Lot: 2A

Block: N/A

Plan: 992-0304

Municipal Address: 30, 5201 SUNSET DRIVE

Description of proposed development: NEW 2-STORY CABIN BUILD

Estimated cost of development: \$250,000.00

Estimated commencement date: SPRING 2025

Estimated completion date: WINTER 2025/2026

Lot Width: 35-12 m

Lot Length: 52-56 m

Area of Site: 387.67 SQ.M

Area of existing development: 37 SQ.M

Area of proposed development: 104 SQ.M

Total % of Site Coverage: 27%

INCLUDES DECK

# Summer Village of Sunset Point

(Maximum 40%)

## APPLICATION FOR DEVELOPMENT PERMIT

<u>Principal Building/Addition:</u>	<u>Proposed</u>	<u>Bylaw Requirements</u>	<u>Conforms</u> (Yes or No)
Front Yard Setback:	<u>N/A</u>	<u>&gt; or = 8.0 M</u>	<u></u>
Lake Front Yard Setback:	<u>2.5</u>	<u>&gt; or = 8.0 M</u>	<u>YES</u>
Rear Yard Setback:	<u>4.28</u>	<u>&gt; or = 1.5 M</u>	<u>YES</u>
Side Yard Setback:	<u>1.22</u>	<u>&gt; or = 1.5 M</u>	<u>NO</u>
Side Yard Setback:	<u>1.22</u>	<u>&gt; or = 1.5 M</u>	<u>NO</u>
Floor Area:	<u>92.34</u>	<u>&gt; or = 93.9 M2 (1000 Ft2)</u>	<u>YES</u>
Height of Building:	<u>9.2</u>	<u>&lt; or = 10.0 M (33')</u>	<u>YES</u>
No. of Off-Street Parking Stalls:	<u>2</u>	<u>&gt; or = 2 stalls</u>	<u>YES</u>

<u>Accessory Building:</u>	<u>Proposed</u>	<u>Bylaw Requirements</u>	<u>Conforms</u> (Yes or No)
<u>Shed or Boat House</u>			
Front Yard Setback:	<u></u>	<u>&gt; or = 8.0 M</u>	<u></u>
Rear Yard Setback:	<u></u>	<u>&gt; or = 1.0 M</u>	<u></u>
Side Yard Setback:	<u></u>	<u>&gt; or = 1.0 M</u>	<u></u>
Side Yard Setback:	<u></u>	<u>&gt; or = 1.0 M</u>	<u></u>
Separation from other structure:	<u></u>	<u>&gt; or = 1.2 M</u>	<u></u>
Floor Area:	<u></u>	<u>&lt; or = 93 M2 (all buildings)</u>	<u></u>
Height (shed):	<u></u>	<u>1 storey (&lt; or = 4.6 M)</u>	<u></u>
Height (boat house):	<u></u>	<u>1 storey (&lt; or = 3.7 M)</u>	<u></u>

<u>Garage:</u>	<u>Proposed</u>	<u>Bylaw Requirements</u>	<u>Conforms</u> (Yes or No)
<u>Detached Garage</u>			
Front Yard Setback:	<u></u>	<u>&gt; or = 8.0 M</u>	<u></u>
Rear Yard Setback:	<u></u>	<u>&gt; or = 1.0 M</u>	<u></u>
Side Yard Setback:	<u></u>	<u>&gt; or = 1.0 M</u>	<u></u>
Side Yard Setback:	<u></u>	<u>&gt; or = 1.0 M</u>	<u></u>
Separation from other structure:	<u></u>	<u>&gt; or = 1.2 M</u>	<u></u>
Floor Area:	<u></u>	<u>&lt; or = 93 M2 (all buildings)</u>	<u></u>
Height (shed):	<u></u>	<u>1 storey (no taller than house)</u>	<u></u>

# Summer Village of Sunset Point

## APPLICATION FOR DEVELOPMENT PERMIT - IMPORTANT NOTES

1. February 1, 2014 the Province's "New Home Buyer Protection Act" requires that ALL new homes constructed require warranty coverage. This includes homes constructed by property owners for themselves. [www.municipalaffairs.alberta.ca/NHBP](http://www.municipalaffairs.alberta.ca/NHBP) for info.
2. All storage sheds and small accessory buildings must be located in the rear half of the property, regardless of the size (or requirement to secure Development Permit approvals).
3. The front yard of the property is the yard adjacent to the road except in the case of lake front properties where the front yard faces the lake. Where the front yard faces two roads, the front yard is the property adjacent to the road on which all adjacent properties are located.
4. Where the development requires a driveway or entrance, the owner must provide and install a culvert in the size and shape that is approved by the municipality.
5. In addition to completing this application in its entirety, an Application for a Development Permit shall be accompanied by the following information and documents, where relevant:
  - a) a lot plan at scale to the satisfaction of the Development Officer showing the size and shape of the lot, the front, rear and side yards, and provisions for off-street parking, access to the site, and the location of public utilities, water bodies and treed areas;
  - b) a scaled floor plan and elevations where construction is proposed together with a street scene elevation of all new buildings in relation to adjoining properties clearly demonstrating height and amenity;
  - c) at the discretion of the Development Officer, an acceptable Real Property Report as proof of location of existing development, before the Development Permit is issued;
  - d) at the discretion of the Development Officer, a Real Property Report as proof of location of the proposed development, after construction is complete;
  - e) a copy of the Duplicate Certificate of Title indicating ownership and encumbrances;
  - f) if the applicant is not the registered owner, a written statement, signed by the registered owner approving the applicant as the agent for the registered owner.
6. Where a decision on this application is not made within twenty (20) days of the date of acceptance and validation (FEE must be included) upon receiving all required plans and documents you may;
  - a) Consider this development application to be REFUSED by the Development Officer and appeal this decision to the Development Appeal Board within twenty-one (21) days of the date of refusal by contacting([office@sunsetpoint.ca](mailto:office@sunsetpoint.ca)); or
  - b) Obtain and complete an extension agreement available from the Development Officer to extend the twenty (20) day decision period specified to allow the Development Officer additional time to reach a decision.

# Summer Village of Sunset Point

## APPLICATION FOR DEVELOPMENT PERMIT

### 7. NEW HOME CONSTRUCTION – requirements of “New Home Buyer Protection Act”

- a) Is this an application seeking to construct a new home? YES ☒ NO ☐
- b) If YES, please provide details of the builders' (either contractor or property owner) new home warranty coverage as required by the Province of Alberta \_\_\_\_\_  
SEE ATTACHED WAIVER
- c) If the property owner is electing to proceed with construction – without the required new home warranty coverage – please ensure that the required waiver from the Province of Alberta ([www.municipalaffairs.alberta.ca/NHBP](http://www.municipalaffairs.alberta.ca/NHBP)) is forwarded with this application.
- d) Failure to provide this information to the satisfaction of the Development Officer will result in an immediate denial of the Development Permit application for any new home.

### 8. FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT NOTICE

Please be advised that the Development Authority gathers the information contained in this application for the purpose of rendering a decision on your application. For this purpose, your application may be forwarded to the following people / organizations,

- Adjacent Landowners
- Municipal Assessment Services for Assessment purposes
- Utility Companies
- Adjacent Municipalities Municipal Offices (*if applicable*)
- Government Departments
- Statistics Canada
- Other organizations as determined by the Development Officer
- Local newspapers for public advertisement

Under the authority of sections 606, 640(1), 653(4) of the Municipal Government Act Chapter M26.1, RSA2000, and the Subdivision and Development Regulation 212/95

I/we \_\_\_\_\_ have no objections to the above stated procedures being used in the review and decision-making process for this application.

Signature(s): \_\_\_\_\_

Date: MAY 8, 2025

**For information contact: Matthew Ferris, RPP MCIP, FOIP Administrator, PO Box 596**  
Alberta Beach, AB, T0E 0A0 [office@sunsetpoint.ca](mailto:office@sunsetpoint.ca)

## Summer Village of Sunset Point APPLICATION FOR DEVELOPMENT PERMIT

9. Every Application for a Development Permit shall be accompanied by a non-returnable processing fee (please make payment out to "Summer Village of Sunset Point");

### PERMIT FEES DOUBLE IF CONSTRUCTION STARTS PRIOR TO APPROVAL

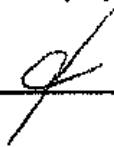
Development Permits – Major – Main Buildings	\$ 450.00
Development Permits – Commercial	\$ 400.00
Development Permits – Minor - Accessory Buildings or additions	\$ 200.00
Home Occupation, Signs, Decks, Fences, Cistern	\$ 185.00
Demolition Permits	\$ 175.00

**10. AUTHORIZATION AND RIGHT OF ENTRY:**

I/We [REDACTED] am/are the registered owner, or the agent, and I/we agree to act on behalf of the registered owner, and the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to this application for a Development Permit.

I also consent to an authorized person(s), designated by the Municipality, to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application and completion of the proposed development.

Signature(s):

  
\_\_\_\_\_

Date:

MAY 8, 2025

Residential Protection Program  
Government of Alberta  
18th Floor, Commerce Place  
10155 - 102 Street  
Edmonton, Alberta T5J 4L4  
Tel 1-866-421-6929

Application ID: 25AA2055450  
Status: APPROVED  
Approval Date (YYYY-MM-DD): 2025-05-07

Primary Applicant:  
Address:  
Phone Number:  
Website:



New Home Site Information

Building Type: SINGLE-FAMILY DETACHED  
Total Number of Units: 1

Unit ID	Civic Address	Legal Description	LINC
25RU9568669	Unit 30, 5201 SUNSET DRIVE, SUMMER VILLAGE OF SUNSET POINT, T0E 0A0	Lot/Block/Plan: 2A-0-9920340	0027820951

New Home Buyer Protection Approved on 2025-05-07

*Shannon Wheeler*

Registrar



*This remains on record as compliance or non-compliance with provisions of the New Home Buyer Protection Act and Regulations. Pursuant to the New Home Buyer Protection Act, the "Owner Builder" and/ or the "Residential Builder" are responsible for meeting the requirements of the Act.*



Tel 780-924-3533  
Fax 780-924-3327  
www.sunsetpointcamp.ca

5201 Sunset Drive  
Sunset Point, Alberta  
T0E 0A0

April 24, 2025

Attention: Christine Coley  
Program Officer- Residential Protection Program  
Technical & Corporate Services Division, Municipal Affairs

Reference: [REDACTED]  
Owner Builder Authorization (OBA) application  
File NHBPS Status for #25AA2055450

Dear Christine,

Sunset Point Christian Camp Foundation acknowledges and confirms that approval has been granted for [REDACTED] to construct a new home for seasonal use on our land described as **Plan 9920340 Lot 2A** in the Summer Village of Sunset Point. The new home will be constructed on **Lot (30)**, and the licensed/lease holder will personally engage in, arrange for, or manage all or substantially all the construction of the new home and we will comply with all applicable legislation.

We understand the terms under the *New Home Buyer Protection Act* applicable to owner-builder authorizations, and that if the licensed/leaseholder chooses not to purchase a new home warranty the home can't be transferred or offered for sale during the 10-year protection period without first obtaining warranty coverage. We acknowledge that warranty providers may refuse to provide a home warranty insurance contract after the home has been occupied, and/or may use a risk assessment model to determine the cost of coverage, and/or may require detailed information about the new home and the construction process.

The primary applicants have acknowledged that they will be responsible for resolving any issues that may exist in the new home; however, as the landowners, we are ultimately responsible for ensuring that the home on our property complies with the *New Home Buyer Protection Act*, *Safety Codes Act* and all other applicable legislation related to the new home.

Kindest Regards,

A handwritten signature in dark ink, appearing to read "Graham Greenwood".

Graham Greenwood  
Chairman of the Board

A handwritten signature in dark ink, appearing to read "Harvy Riehl-Tonn".

Harvy Riehl-Tonn  
Board Member

Sunset Point Christian Camp Foundation  
Box 297, Alberta Beach, T0E 0A0





Sunset Point  
Christian Camp  
Foundation

**Sunset Point Christian Camp**

5201 Sunset Drive

PO Box 297

Alberta Beach, AB T0E 0A0

Phone: 780-924-3533

Email: [info@sunsetpointcamp.ca](mailto:info@sunsetpointcamp.ca)

APPLICATION #:

Year/Cabin/RV #

OFFICE USE ONLY

**DEVELOPMENT APPLICATION**

I hereby make a Development Application to Sunset Point Christian Camp in accordance with the plans and/or supporting information submitted herewith and which form part of this application.

**APPLICANT INFORMATION**

Applicant(s):

Telephone:

Address:

Registered Owner/s (if different than above):

Telephone:

Address:

Cabin or RV Campsite #: 30

**PROPOSED DEVELOPMENT**

1. ☒ New Cabin Development ☐ Cabin expansion ☐ Change in Cabin Use (duplex conversion, etc.)

2. ☐ New or expanded deck or patio ☐ New or expanded shed ☐ New Fence ☐ Hot Tub

3. ☐ Landscaping/Tree removal ☐ Shoreline Stabilization ☐ Demolition ☐ Other (please specify)

Description of Proposed Development: REMOVE EXISTING CABIN & DECK. BUILD NEW CABIN AS PER ATTACHED PLANS.

COLOR OF EXTERIOR - ARCTIC WHITE / PEARL GREY

4. ☒ Any known Variance Request from Camp Architectural Guidelines (please specify): NONE

5. Proposed Construction Start Date: SPRING 2025

6. Proposed Construction End Date: FALL 2025

**NOTE:** Please attach sketch, site plans, drawings etc. For cabins and sheds, plans showing elevation (showing building height from grade and number of stories; and a description of the exterior finishing materials and colours) and detailed floors plans must be provided.

### APPLICANT SIGNATURE AND DECLARATION

- I understand that additional information may be required after the development application has been submitted.
- I understand that this development application may be refused if the proposed development does not conform to the Sunset Point Christian Camp regulations, policies and/or guidelines thereto.
- I acknowledge that in the event a development application is approved, any departure from plans, specifications or building locations proposed in the above application is prohibited and such could result in the application being revoked.
- I further acknowledge that in the event the application is revoked for any cause of irregularity or non-conformity with the Sunset Point Christian Camp regulations, policies, guidelines, or requirements of the Alberta Building Code or regulations made thereafter, there shall be no right of claim whatsoever against Sunset Point Christian Camp or any official thereof and any such claim is hereby expressly waived.
- I understand that if approved, it is my responsibility to obtain all required government permits and licenses.
- By submitting my application, I hereby allow right of entry for inspection purposes. The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application for development approval.

☒ I, hereby have reviewed and will adhere to the Camp's regulations, including the "Construction Activities Guidelines" and "Architectural & Design Guidelines"

Date: FEB. 24, 2025 Signature: [Signature]

Date: FEB. 24, 2025 Signature: [Signature]

\*\*\*SIGNATURES OF ALL CABIN OWNERS/ANNUAL RV CONTACT HOLDERS ARE REQUIRED\*\*\*

#### FOR OFFICE USE ONLY

Date Application Received: \_\_\_\_\_ Date Application Deemed Complete: \_\_\_\_\_

The information is being collected under Section 33(c) of the *Freedom of Information and Protection of Privacy Act* and will be protected under the provisions of the Act. For more information, please contact the Camp Administrator at 780-934-3533.

Completed applications can be dropped off or mailed to the Camp Office at.

5201 Sunset Drive  
PO Box 297  
Alberta Beach, AB  
T0E 0A0

You may also email your completed application to [info@sunsetpointcamp.ca](mailto:info@sunsetpointcamp.ca)

### PERMIT REQUIREMENT CHECKLIST

Such other plans and information as the Camp may consider necessary to properly evaluate the proposed development may also be required in addition to the requirements specified below. All application requirements are in accordance with the Sunset Point Christian Camp regulations, policies, and guidelines. **NOTE: Depending on the type of development, some requirements and information may not apply.**

Applications shall be accompanied by the following information:

- ☒ 1. **Site Plan** (metric, to scale, no larger than 11" x 17"). The site plan shall include:
- ✓ North arrow
  - ✓ Scale of plan
  - ✓ Legal description of property
  - ✓ Camp address
  - ✓ Lot lines with dimensions
  - ✓ Location of all existing and proposed buildings dimensioned to property lines.
  - ✓ Utilities, site drainage and existing and proposed site grades,
  - ✓ Locations and size of existing trees, and
    - For multi-family,
  - ✓ Loading and parking provisions
  - ✓ Access location to and from the site
  - ✓ Treatment of landscaped areas (The location of all existing and proposed landscaping, including trees, shrubs, and grasses; any existing landscaping to be removed and the number, size and species of all proposed trees and shrubs)
  - ✓ All sign locations and designs
- ☒ 2. **Plans showing:**
- Elevations (showing building height from grade and number of stories; and a description of the exterior finishing materials and colours)
  - Detailed Floor plan (showing proposed use and dimensions of each room)
  - Site drainage plan
  - Utility hook-ups

To ensure the proposed development complies with the Sunset Point Christian Camp Guidelines and Construction Specifications please visit our website <https://www.sunsetpointcamp.ca/forms> **Forms – Construction Activities Guidelines.**

#### FOR OFFICE USE ONLY

☒ **Approved.** Development can proceed with the following condition(s);

\_\_\_\_\_  
\_\_\_\_\_

☐ **Rejected. Rationale:**

\_\_\_\_\_  
\_\_\_\_\_

**Date Approved/Rejected:** March 5, 2025

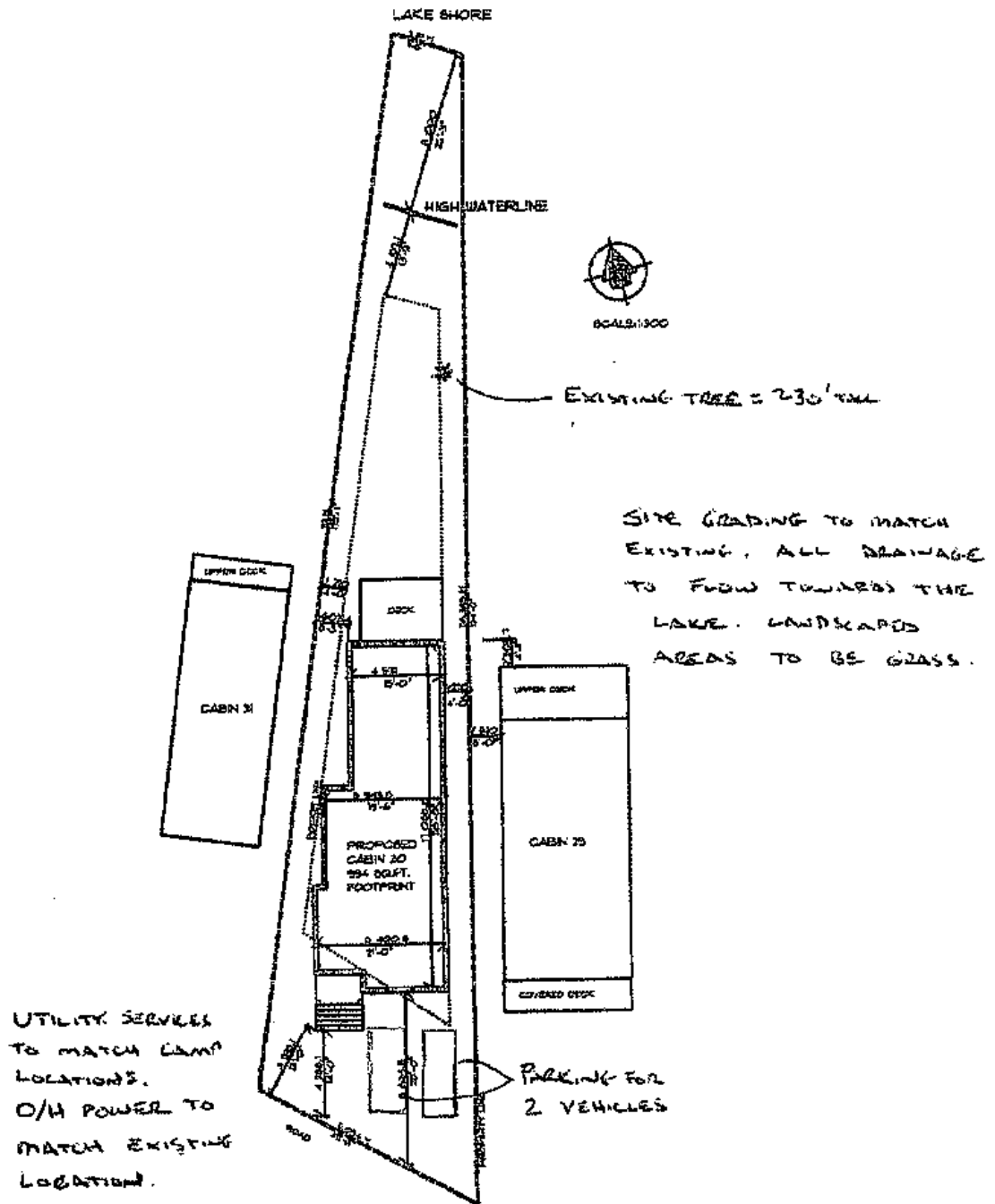
**Date Applicant Notified & Method:** 3/10/2025

☒ **Email**

☐ **Letter**

October 2022

*MC*



ARCHITECTURAL SITE PLAN  
CABIN 30-3201 SUNSET DRIVE  
WITHIN LOT 2A-PLAN 982-0304  
SUNSET POINT CHRISTIAN CAMP  
SUMMER VILLAGE OF SUNSET POINT

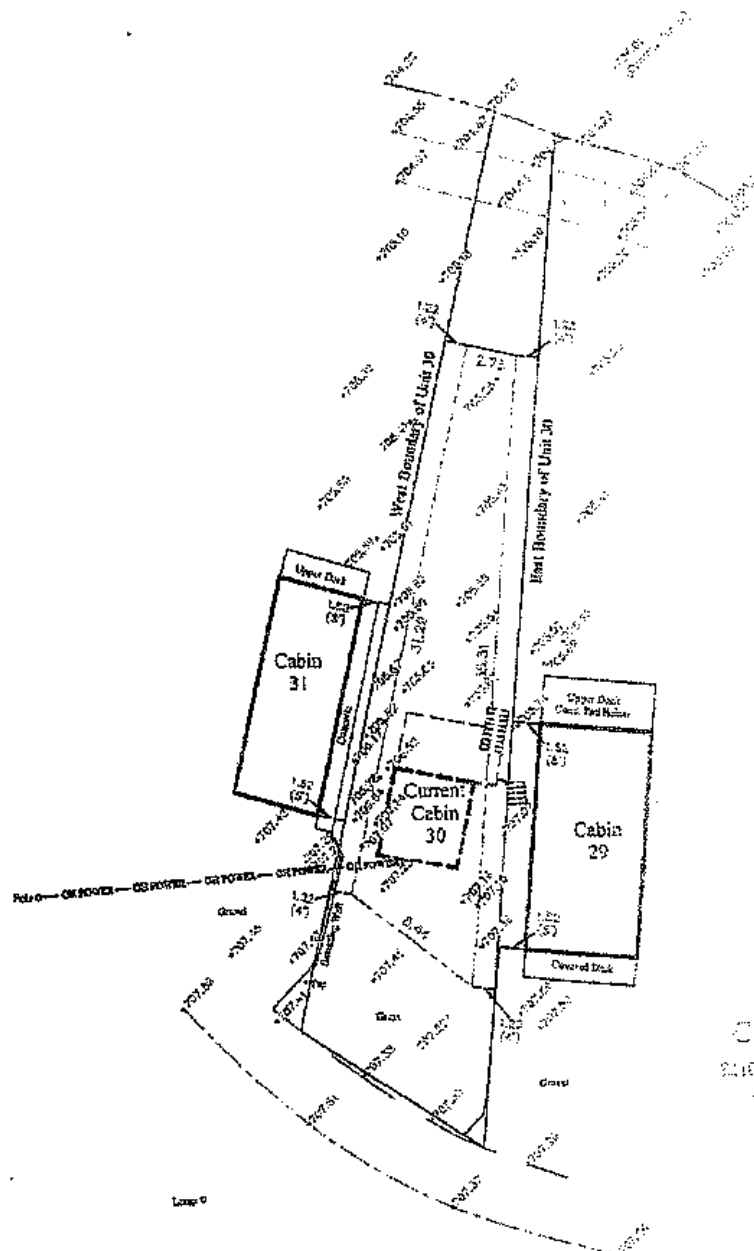
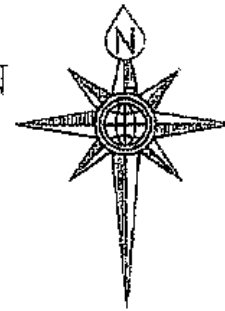
LOT AREA: 381.67 SQ.M. 472 SQ.FT.  
FOUNDATION SIZE: 22.34 SQ.M. 284 SQ.FT.  
DECK SIZE: 2.01 SQ.M. 130 SQ.FT.

SITE COVERAGE: CABIN AND DECK 134 SQ.FT.  
124/472= 27% COVERAGE

NOTE: THIS SITE PLAN IS  
FOR PRELIMINARY DESIGN PURPOSES ONLY  
AND IS NOT INTENDED FOR PERMITTING.  
PLEASE REFER TO SURVEYORS PLAN  
FOR FINAL SITING INFORMATION

# PLAN SHOWING BUILDING POCKET AND TOPOGRAPHICAL INFORMATION

CABIN 30 - 5201 SUNSET DRIVE  
WITHIN LOT 2A - PLAN 992-0340  
SUNSET POINT CHRISTIAN CAMP  
SUMMER VILLAGE OF SUNSET POINT  
SCALE:1:300 2024 D. WILSON, A.L.S.



Current Cabin 30  
Deck and Steps  
to be removed

NOTES:  
DISTANCES ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE SHOWN  
BUILDING POCKET AVAILABLE SHOWN THIS  
CENTERLINE OF ROAD SHOWN THIS  
EDGE OF ROAD SHOWN THIS  
HIGH WATER MARK SHOWN THIS  
ROCK WALL SHOWN THIS

ELEVATIONS:  
ELEVATIONS ARE DERIVED FROM C.P.S.  
ELEVATIONS SHOWN THIS

DON WILSON SURVEYS LTD.  
BOX 4120  
BARRHEAD, ALBERTA  
T7N 1A1  
PHONE: (780) 674-2187  
FILE: 24444 DATE: NOVEMBER 4, 2024



Copyright © 2004  
Sunset Point Christian Camp  
All Rights Reserved

BLUES

CLIENT: HERMANN  
CABIN

MODEL: CUSTOM

DATE: DEC 2004  
JOB #

DESIGNED BY: BRAD / AUSTIN

REVISIONS

DISCLAIMER

WORKING DRAWINGS ARE A GRAPHIC  
REPRESENTATION ONLY. ACTUAL  
PRODUCTS AND MATERIALS MUST FIRST  
BE APPROVED BY THE CLIENT.

DESIGNER'S NOTE: ALL DIMENSIONS  
SHOWN ARE APPROXIMATE. FINAL  
DIMENSIONS SHALL BE DETERMINED  
BY THE CLIENT.

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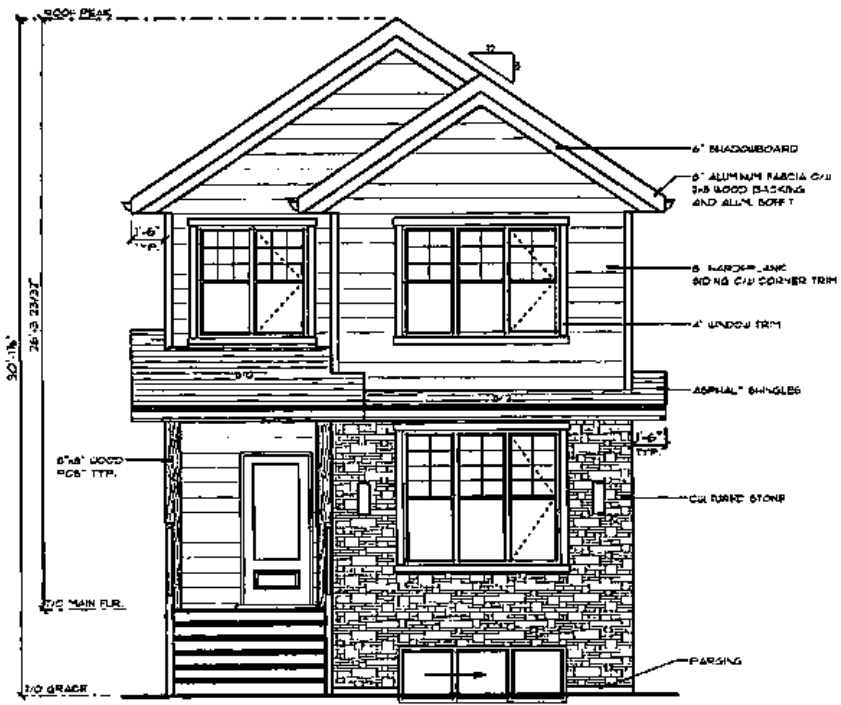
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DIMENSIONS SHALL BE DETERMINED  
BY THE CLIENT.

SHEET 1  
No. 10



# FRONT ELEVATION

SCALE: 3/8" = 1'-0"

NOTES:  
TOTAL FLASHING TYPICAL  
OVER ALL EXTERIOR  
OPENINGS  
WINDOW SILLS AS PER  
ROOF VENTS 1/2" O.D. 5/8" I.D.  
AT THE GRADE  
FINAL GRADE AS PER  
SITE PLAN

NOTE: TOP OF MAIN FLOOR WINDOWS  
TO BE AT 14" BELOW FINISHED CEILING,  
UNLESS OTHERWISE NOTED.

NOTE: GRADES ARE APPROXIMATE ONLY.  
FINAL GRADES AS PER SITE PLAN AND  
SITE CONDITIONS. RETAINING WALLS AS  
REQUIRED.



# REAR ELEVATION

SCALE: 3/8" = 1'-0"

LEGAL DESCRIPTION:  
LOT WITHIN LOT 2A BLOCK: N/A PLAN: 992-0340  
SUBDIVISION: SUNSET POINT CHRISTIAN CAMP  
IN: SUMMER VILLAGE OF SUNSET POINT, ALBERTA  
MUNICIPAL ADDRESS: CABIN 30 - 5201 SUNSET DRIVE



SHEET

CLIENT: HERMANN  
CABIN

PROJECT: CUSTOM

DATE: DEC 2004

DESIGNED BY: BRAD & AUSTIN

REVISED

#### DISCLAIMER

SKETCHES AND ELEVATIONS ARE A GRAPHIC REPRESENTATION ONLY. ACTUAL PROPORTIONS AND MATERIALS MAY VARY FROM INFORMATION ON DRAWINGS.

UNLESS NOTED, ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

BASE CONTRACT AND BUILDING SPECIFICATIONS TO FACE UNLESS OTHERWISE NOTED.

FOUNDATION SHALL BE CONCRETE. FOUNDATION SHALL BE CONCRETE. FOUNDATION SHALL BE CONCRETE. FOUNDATION SHALL BE CONCRETE.

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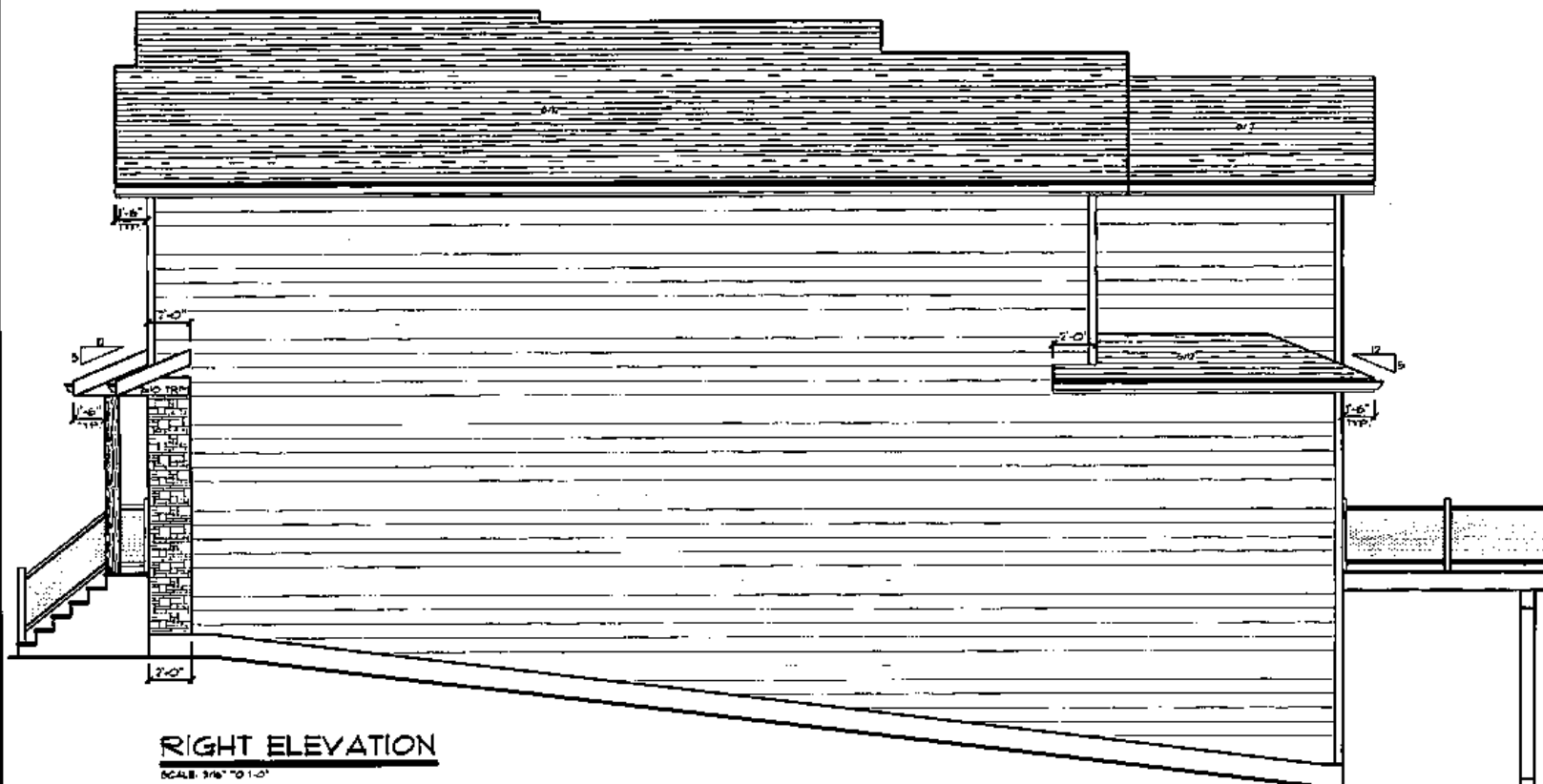
FOUNDATION SHALL BE CONCRETE. FOUNDATION SHALL BE CONCRETE. FOUNDATION SHALL BE CONCRETE. FOUNDATION SHALL BE CONCRETE.

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LEGAL DESCRIPTION:  
LOT: WITHIN LOT 2A BLOCK: N/A PLAN: 992-0340  
SUBDIVISION: SUNSET POINT CHRISTIAN CAMP  
IN: SUMMER VILLAGE OF SUNSET POINT, ALBERTA  
MUNICIPAL ADDRESS: CABIN 30 - 5201 SUNSET DRIVE

SHEET 2  
No. 10



### RIGHT ELEVATION

SCALE: 3/16" TO 1"

NOTE: TOP OF MAIN FLOOR WINDOWS TO BE AT 14" BELOW FINISHED CEILING. UNLESS OTHERWISE NOTED.

NOTE: GRADES ARE APPROXIMATE ONLY. FINAL GRADES AS PER SITE PLAN AND SITE CONDITIONS. RETAINING WALLS AS REQUIRED.



QUALITY  
DESIGN  
SERVICE  
ALL SECTORS & TYPES

DATE:

CLIENT **HERMANN  
CABIN**

USE: **CUSTOM**

DATE: **DEC 2024**

BY: **DRAD**

DESIGNED BY: **DRAD**

DRAWN BY: **DRAD**

CHECKED BY: **DRAD**

DATE: **DEC 2024**

BY: **DRAD**

DESIGNED BY: **DRAD**

DRAWN BY: **DRAD**

CHECKED BY: **DRAD**

DATE: **DEC 2024**

BY: **DRAD**

DESIGNED BY: **DRAD**

DRAWN BY: **DRAD**

CHECKED BY: **DRAD**

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CHECKED BY: **DRAD**

DATE: **DEC 2024**

BY: **DRAD**

DESIGNED BY: **DRAD**

DRAWN BY: **DRAD**

**LEFT ELEVATION**

SCALE 3/8" = 1'-0"

NOTE: TOP OF MAIN FLOOR WINDOWS  
TO BE AT 14" BELOW FINISHED CEILING,  
UNLESS OTHERWISE NOTED.

NOTE: GRADES ARE APPROXIMATE ONLY.  
FINAL GRADES AS PER SITE PLAN AND  
SITE CONDITIONS. RETAINING WALLS AS  
REQUIRED.

LEGAL DESCRIPTION:  
LOT: WITHIN LOT 2A BLOCK: N/A PLAN: 992-0340  
SUBDIVISION: SUNSET POINT CHRISTIAN CAMP  
IN: SUMMER VILLAGE OF SUNSET POINT, ALBERTA  
MUNICIPAL ADDRESS: CABIN 30 - 5201 SUNSET DRIVE

SHEET  
No.

3  
10





**HERMANN CABIN**

**CUSTOM**

DATE: DEC 2021

BY: [Signature]

FOR: [Signature]

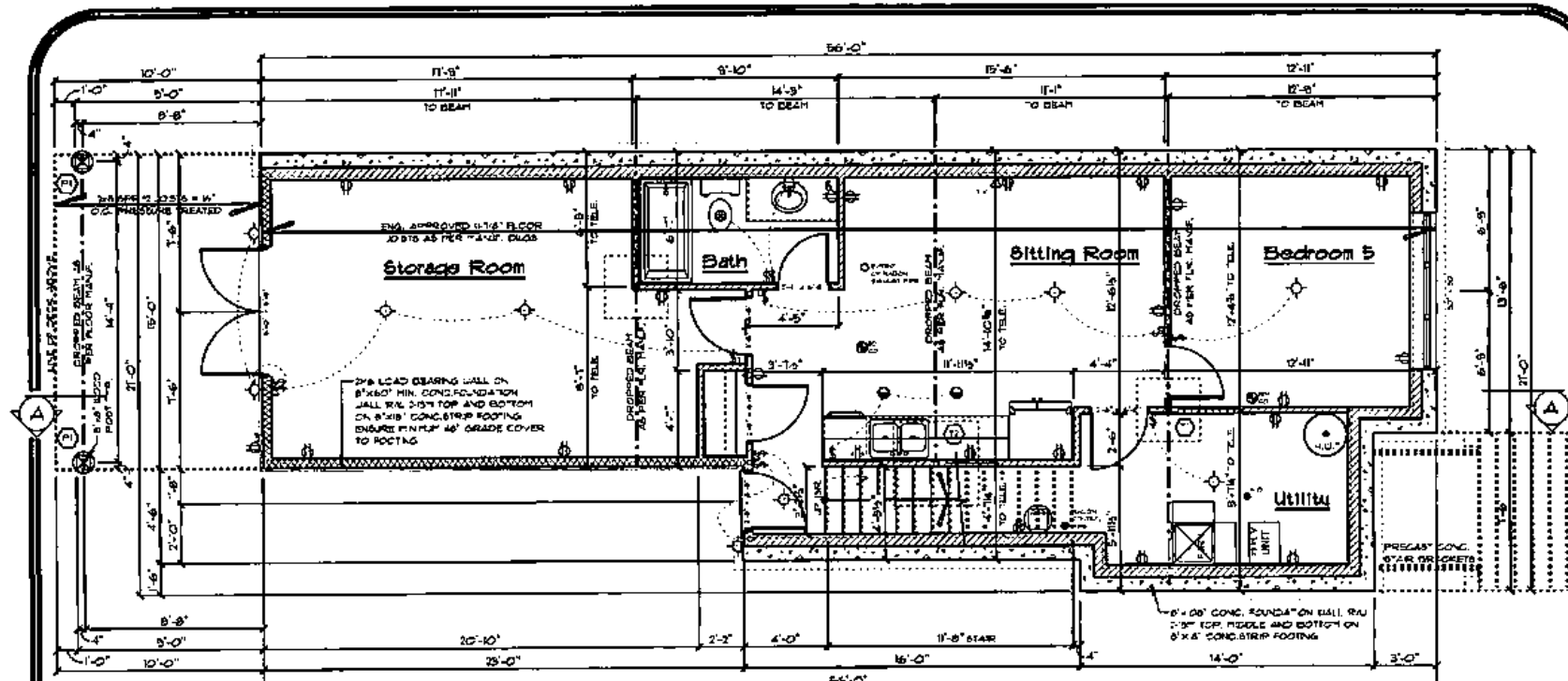
PROJECT: [Signature]

**NOTES:**

1. ALL DIMENSIONS ARE APPROXIMATE ONLY. ACTUAL MEASUREMENTS AND FIELD ADJUSTMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

2. ALL DIMENSIONS ARE APPROXIMATE ONLY. ACTUAL MEASUREMENTS AND FIELD ADJUSTMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

3. ALL DIMENSIONS ARE APPROXIMATE ONLY. ACTUAL MEASUREMENTS AND FIELD ADJUSTMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.



# **FOUNDATION PLAN - 752 SQ. FT. DEV.**

SCALE: 3/8" = 1'-0"

5'-0" FOUNDATION

H.R.V. REQUIRED

ELECTRICAL SYMBOL LEGEND	
[Symbol]	1. GAT
[Symbol]	2. VAC. VACUUM OUTLET
[Symbol]	3. PULL CHAIN
[Symbol]	4. RECESSED POT LIGHT
[Symbol]	5. SWITCH
[Symbol]	6. 3-WAY SWITCH
[Symbol]	7. RECEPTACLE
[Symbol]	8. 220 VOLT RECEPTACLE
[Symbol]	9. GROUND FAULT INTERRUPTER
[Symbol]	10. WEATHER-PROOF
[Symbol]	11. VAC. VACUUM OUTLET
[Symbol]	12. EXHAUST FAN
[Symbol]	13. SMOKE DETECTOR
[Symbol]	14. TELEPHONE
[Symbol]	15. TELEVISION
[Symbol]	16. ELECTRICAL PANEL
[Symbol]	17. WALL LIGHT
[Symbol]	18. CEILING FAN

## **FILE LEGEND**

1. 2" DIA. X 12'-0" MIN. CONC. PILES: 12" MIN. VERTICAL OR ENG. SCHEDULE

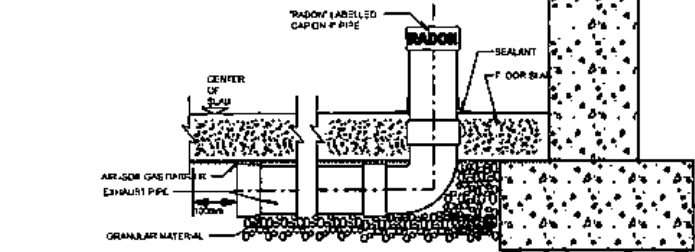
## **TELEPOST & PAD LEGEND**

1. 12" DIA. X 12'-0" MIN. CONC. PILES: 12" MIN. VERTICAL OR ENG. SCHEDULE

**NOTE:** FOR ALL LATERAL AND STANDARD REINFORCING INFORMATION, AND OTHERS, PLEASE SEE ENGINEER'S DRAWINGS.

**NOTE:** GRADES ARE APPROXIMATE ONLY. FINAL GRADES AS PER SITE PLAN AND SITE CONDITIONS. RETAINING WALLS AS REQUIRED.

**LEGAL DESCRIPTION:**  
LOT: WITHIN LOT 2A, BLOCK: N/A, PLAN: 992-0340  
SUBDIVISION: SUNSET POINT CHRISTIAN CAMP  
IN: SUMMER VILLAGE OF SUNSET POINT, ALBERTA  
MUNICIPAL ADDRESS: CABIN 30 - 5201 SUNSET DRIVE



**NOTE:** ANY ENGINEERING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

**RADON CONTROL**  
NOT TO SCALE





① 2017.11  
 12.23.2017.2018.2019.2020  
 2021.2022.2023.2024.2025

**ALCR**

CLIENT **HERMANN  
CABIN**

4XCL CUSTOM

DATE  
DEC 2014

1075 f

PRATTBY BRAD / ALISON

24, Vues-les

Doc. 962:

STUDYING IN AMERICA AND A GREAT  
EXPERIMENTATION ONLY ACTUAL  
RESEARCHERS AND THEIR OWN VARY LIST  
FROM EACH OTHER ON DIRECTION

[illegible]

1-1555 604-1142 1-800-848-8484  
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FOREIGN BAIL AND TOTTING  
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DO LONG TONG IN CHINA. YES IN  
THE FUTURE, BUT - 1991/1992

2020年12月10日  
 2020年12月10日  
 2020年12月10日  
 2020年12月10日  
 2020年12月10日

CONTRACT FOR  
CHARGE ACCOUNTS ONLY MAY BE  
INSTITUTED & TO AN AGREEMENT

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED  
DATE 08-28-2001 BY 60322 UCBAW

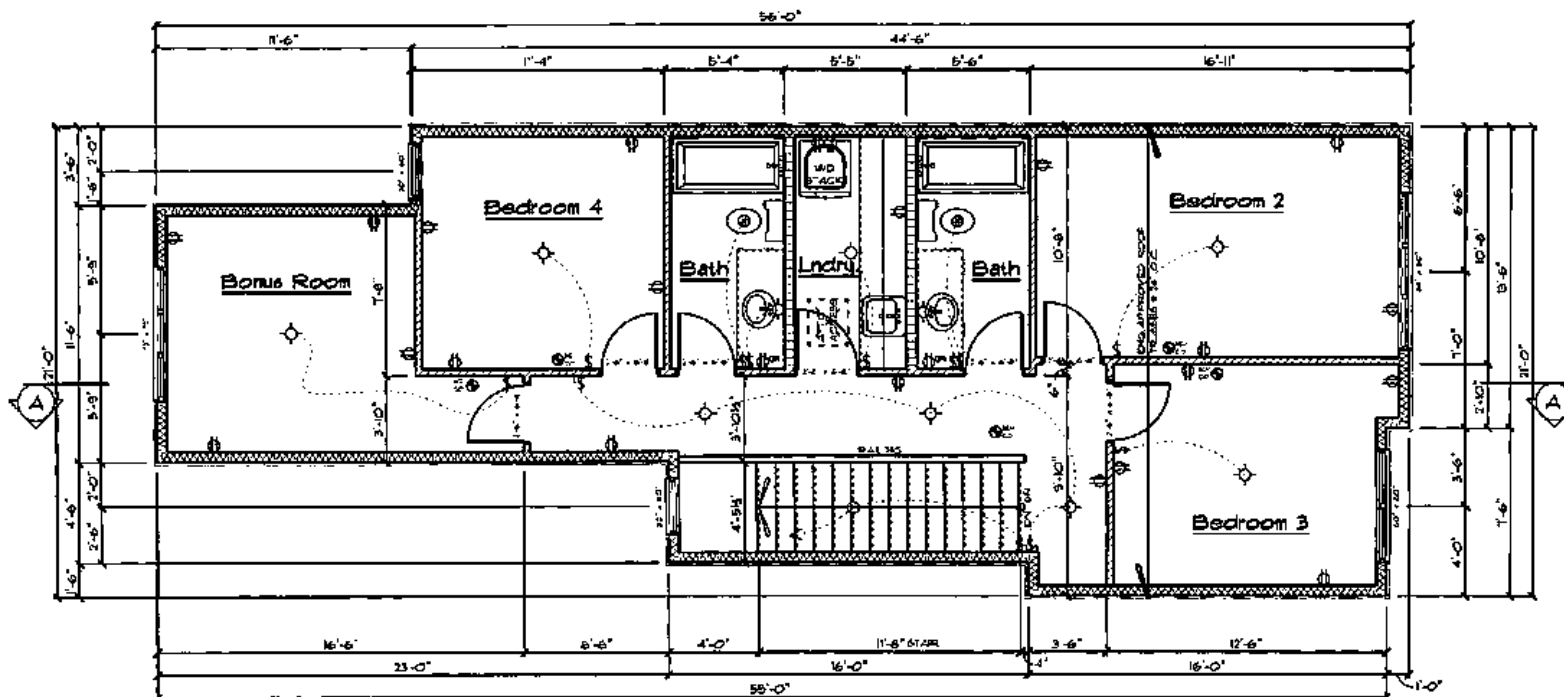
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SWEET  
No.

10

**Figure 1**



SECOND FLOOR PLAN - 902 SQ.FT.

0'-1 L0' 5SECOND FLOOR

**H.R.V. REQUIRED**

**LEGAL DESCRIPTION:**  
LOT: WITHIN LOT 2A BLOCK: N/A PLAN: 992-0340  
SUBDIVISION: SUNSET POINT CHRISTIAN CAMP  
IN: SUMMER VILLAGE OF SUNSET POINT, ALBERTA  
MUNICIPAL ADDRESS: CABIN 30 - 5201 SUNSET DRIVE

SHEET No. 10



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Dr. M. J. C. P.

**HERMANN  
CABIN**

**MAX - CUSTOM**

DATE: 5-15-2024

1075 4

13-2 0701 00

BRAD / ALB

## RESULTS

---

for  $\lambda \in \mathbb{C}$ :

WORKING CHAIRS ARE A GREAT  
CONTRIBUTION TO THE ARTS  
AND CRAFTS AND MUST BE  
MADE BY HAND.

4. THESE ARE THE MAIN REASONS  
WHY I AM NOT A MEMBER  
OF THE "GOLDEN GLOBE" CLUB

PLANT GROWTH AND DEVELOPMENT  
IN RESPONSE TO ENVIRONMENTAL  
STRESSORS: A REVIEW

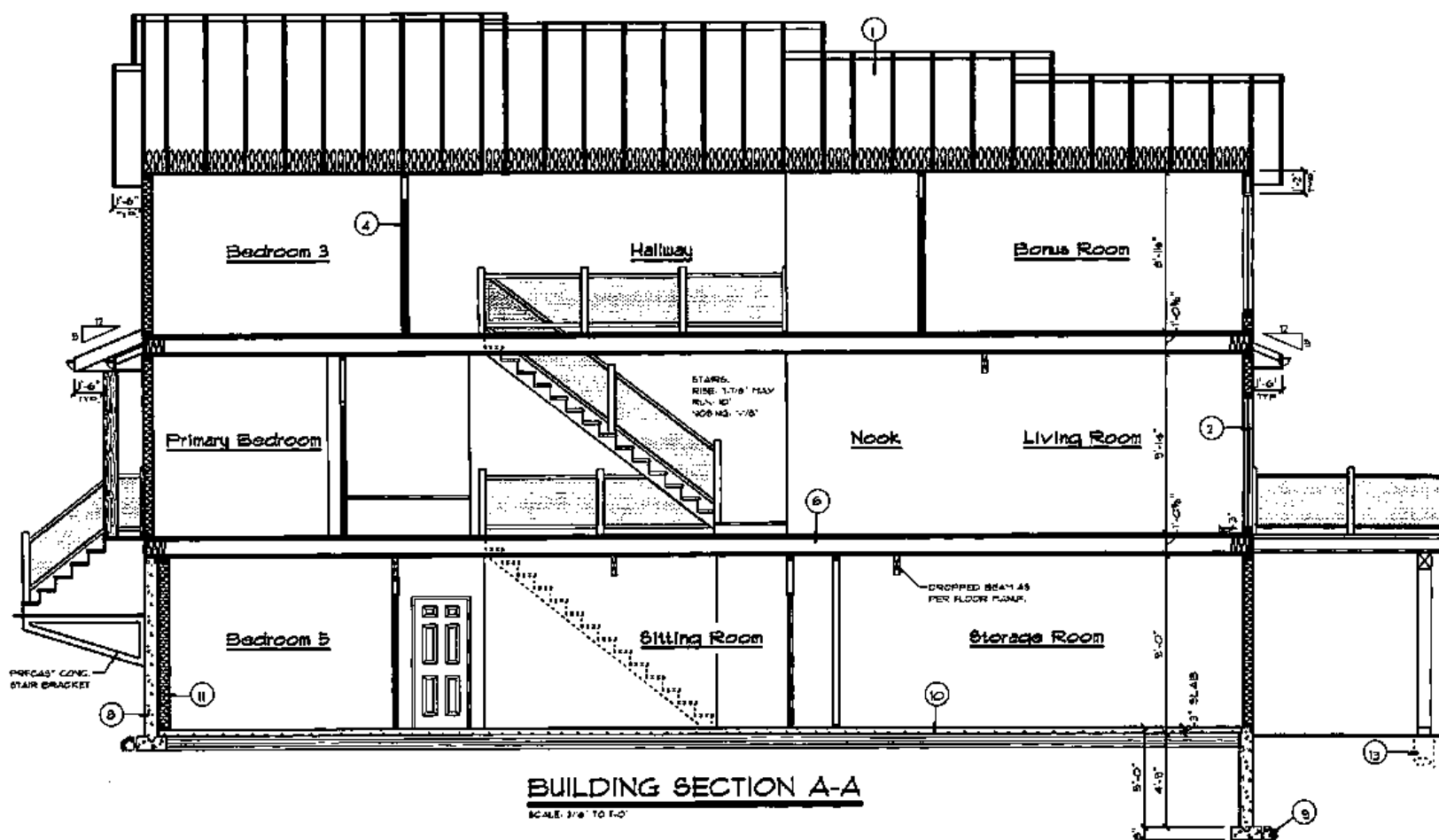
THESE ARE THE SAME AND NOTED  
ON PAGE 9 OF ON 5/14/64  
BUT CONVENTION WAS NOT HELD IN  
THE AREA OF MEMBERS IN BELL  
CONVENTION THAT REGULAR THE  
HONORARY TO BE ESTABLISHED  
AND PAPERWORKS TO BE SET  
MEMBERS TO BE THE CLERK  
CONVENTION

GABRIEL FURIE SAYS WILL "A" BE  
THAT'S THE WAY WE CAN OVERCOME  
THESE THINGS - AND THAT'S THE ONLY  
WAY TO GET IT BY ITSELF AND IS  
NOTHING BUT A PART OF THE OTHER

4. CRASHES ARE THE PROPERTY  
OF CL-SOME NEED CERTAIN OVERSIGHT AND  
WILL BE A "MOM" FROM BUNCH 5 STREET.

SHEET  
No. 10

10



## ACKNOWLEDGMENTS

NOTE: GRADES ARE APPROXIMATE ONLY.  
FINAL GRADES AS PER SITE PLAN AND  
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NOTE: FOR ALL LATERAL AND STANDARD  
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SUBDIVISION: SUNSET POINT CHRISTIAN CAMP  
IN: SUMMER VILLAGE OF SUNSET POINT, ALBERTA  
MUNICIPAL ADDRESS: CABIN 30 - 5201 SUNSET DRIVE



NAME: HERMANN CABIN

MODEL: CUSTOM

DATE: DEC 2003

DESIGNED BY: BRAD / AUSTIN

SCALE: 1/8" = 1'-0"

JOINTING EVALUATOR AND A GRAPHIC REPRESENTATION ONLY. ACTING PROJECTS AND MATERIALS THAT VARY FROM DESIGN OR DRAWINGS.

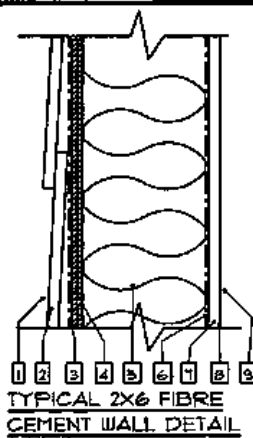
WORK SITES ARE APPROXIMATIONS ONLY AND WILL VARY FROM PLANNING TO FINAL ACTUALITY.

SEALANT CONTRACT AND BUILDING SPECIFICATIONS TO THE FRAME PRESENTATION FROM DRAWINGS.

FOUNDATION WALL AND FOOTING SHALL BE CONSTRUCTED ON EXISTING SOLID CONCRETE OR AS SHOWN HEREIN. ANY VARIANCE IN SOIL LOADS FROM PLAN WILL BE THE RESPONSIBILITY OF THE OWNER.

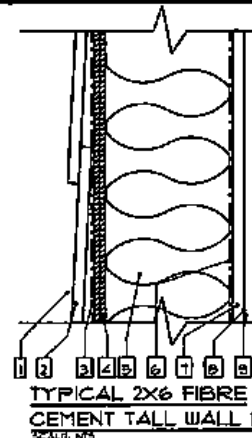
SEALANT CONTRACT AND BUILDING SPECIFICATIONS TO THE FRAME PRESENTATION FROM DRAWINGS.

ALL DRAWINGS ARE THE PROPERTY OF CLASSIC REGIONAL DESIGN INC. NO PART OF THESE DRAWINGS IS TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.



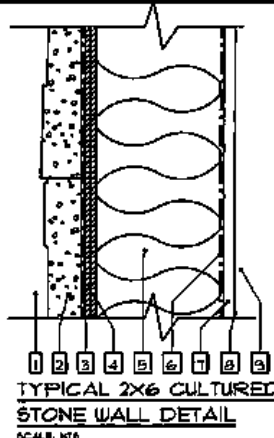
**TYPICAL 2X6 FIBRE CEMENT WALL DETAIL**  
SCALE: 1/8" = 1'-0"

WALL ASSEMBLY COMPONENTS	R <sub>S</sub>	R <sub>T</sub>
1 EXTERIOR AIR FILM	0.03	0.1
2 5/8" (18MM) FIBRE FACED CELLULOSE FIBRE REINFORCED CEMENT	0.03	0.1
3 SPANBONDED POLYSTYRENE (TYVEK)	0.00	0.00
4 1/2" (38MM) PLYWOOD OR OSB SHEATHING	0.11	0.62
5 OSB SHEATHING FILLED WITH R22 BATT INSULATION	2.61	15.1
6 6 MIL POLYETHYLENE	0.00	0.00
7 1/2" (38MM) PLYWOOD BOARD	0.03	0.45
8 FINISH COAT LATEX PRIMER AND PAINT	0.00	0.00
9 INTERIOR AIR FILM	0.2	0.68
EFFECTIVE R-VALUE OF ENTIRE ASSEMBLY	3.03	17.1



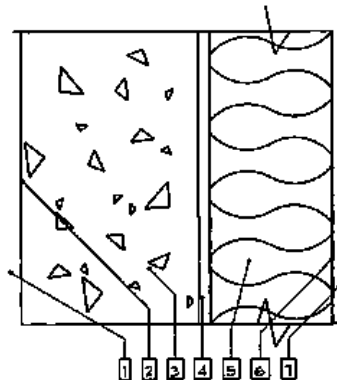
**TYPICAL 2X6 FIBRE CEMENT TALL WALL DETAIL**  
SCALE: 1/8" = 1'-0"

WALL ASSEMBLY COMPONENTS	R <sub>S</sub>	R <sub>T</sub>
1 EXTERIOR AIR FILM	0.03	0.1
2 5/8" (18MM) FIBRE FACED CELLULOSE FIBRE REINFORCED CEMENT	0.03	0.1
3 SPANBONDED POLYSTYRENE (TYVEK)	0.00	0.00
4 1/2" (38MM) PLYWOOD OR OSB SHEATHING	0.11	0.62
5 OSB SHEATHING FILLED WITH R22 BATT INSULATION	2.66	15.3
6 6 MIL POLYETHYLENE	0.00	0.00
7 1/2" (38MM) PLYWOOD BOARD	0.03	0.45
8 FINISH COAT LATEX PRIMER AND PAINT	0.00	0.00
9 INTERIOR AIR FILM	0.2	0.68
EFFECTIVE R-VALUE OF ENTIRE ASSEMBLY	3.03	17.1



**TYPICAL 2X6 CULTURED STONE WALL DETAIL**  
SCALE: 1/8" = 1'-0"

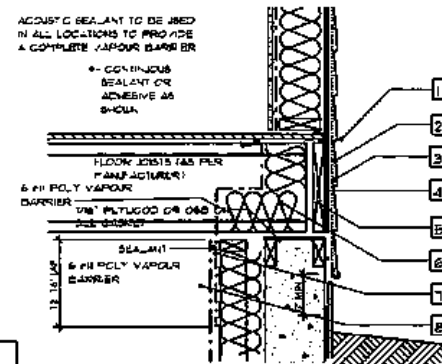
WALL ASSEMBLY COMPONENTS	R <sub>S</sub>	R <sub>T</sub>
1 EXTERIOR AIR FILM	0.03	0.1
2 1/2" (38MM) CULTURED STONE	0.03	0.1
3 SPANBONDED POLYSTYRENE (TYVEK)	0.00	0.00
4 1/2" (38MM) PLYWOOD OR OSB SHEATHING	0.11	0.62
5 OSB SHEATHING FILLED WITH R22 BATT INSULATION	2.61	15.1
6 6 MIL POLYETHYLENE	0.00	0.00
7 1/2" (38MM) PLYWOOD BOARD	0.03	0.45
8 FINISH COAT LATEX PRIMER AND PAINT	0.00	0.00
9 INTERIOR AIR FILM	0.2	0.68
EFFECTIVE R-VALUE OF ENTIRE ASSEMBLY	3.10	17.65



**TYPICAL FOUNDATION WALL DETAIL (HRV)**  
SCALE: 1/8" = 1'-0"

WALL ASSEMBLY COMPONENTS	R <sub>S</sub>	R <sub>T</sub>
1 EXTERIOR AIR FILM	0.03	0.1
2 DAMP PROOFING	0.00	0.00
3 8" (203MM) CONCRETE FOUNDATION WALL	0.06	0.45
4 1/2" (38MM) PLYWOOD BOARD	0.00	0.00
5 OSB SHEATHING FILLED WITH R22 BATT INSULATION	2.99	16.95
6 6 MIL POLYETHYLENE	0.00	0.00
7 INTERIOR AIR FILM	0.2	0.68
EFFECTIVE R-VALUE OF ENTIRE ASSEMBLY	3.77	21.75

ADJUSTING SEALANT TO BE USED IN ALL LOCATIONS TO PROVIDE A COMPLETE VAPOUR BARRIER.



**JOIST END AT FOUNDATION ASSEMBLY**

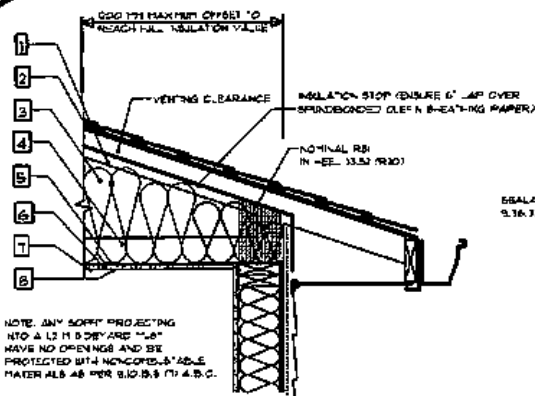
WALL ASSEMBLY COMPONENTS	R <sub>S</sub>	R <sub>T</sub>
1 EXTERIOR AIR FILM	0.03	0.1
2 EXTERIOR FINISH AS PER SPEC	N/A	N/A
3 BUILDING PAPER	0.00	0.00
4 5/8" (18MM) PLYWOOD OR OSB SHEATHING	0.11	0.62
5 1/2" (38MM) PLYWOOD BOARD	0.33	1.87
6 INSULATION BATT INSULATION	3.20	18.1
7 6 MIL POLYETHYLENE	0.00	0.00
8 INTERIOR AIR FILM	0.2	0.68
EFFECTIVE R-VALUE OF ENTIRE ASSEMBLY	3.78	21.44

ALL ASSEMBLY CALCULATIONS IN ACCORDANCE WITH SECTION 9.3.6 AND A.9.3.6 A.B.G.

AIR BARRIER INSTALLATION TO CONFORM WITH SECTION 9.29.3 AND A.9.29.3.1 (1) A.B.G.

**JOIST INSULATION, AIR & VAPOUR SEALING @ FOUNDATION JUNCTION**

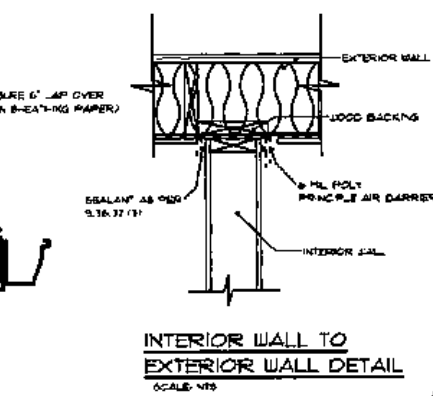
SCALE: 1/8" = 1'-0"



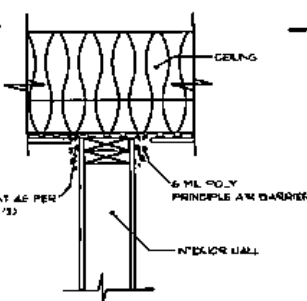
**INSULATION DETAIL FOR ROOF/EAVES**

SCALE: NTS

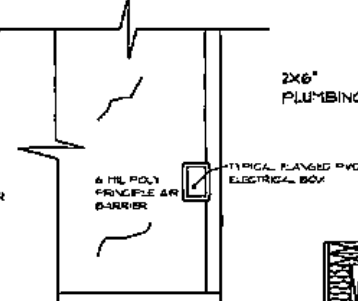
	RS	R
1. EXTERIOR AIR FILM	0.01	0.17
2. 1/2" PLYWOOD SHEATHING	0.11	0.67
3. 6" FIBERGLASS INSULATION (R-19)	3.59	24.45
4. 1/4" GYPSUM BOARD (1/2" MIN. THICKNESS)	0.05	0.30
5. 6 MIL. POLYETHYLENE	0.00	0.00
6. 1/2" GYPSUM BOARD	0.05	0.30
7. FINISH: 50% LATEX PRIMER AND PAINT	0.00	0.00
8. INTERIOR AIR FILM	0.7	0.68
EFFECTIVE R-VALUE OF ENTIRE ASSEMBLY	4.74	32.55



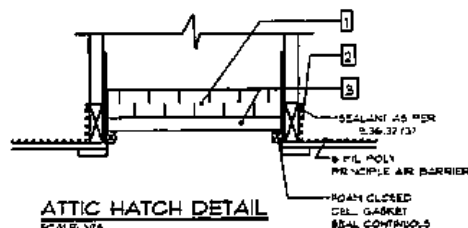
**INTERIOR WALL TO EXTERIOR WALL DETAIL**



**INTERIOR WALL TO EXTERIOR CEILING DETAIL**



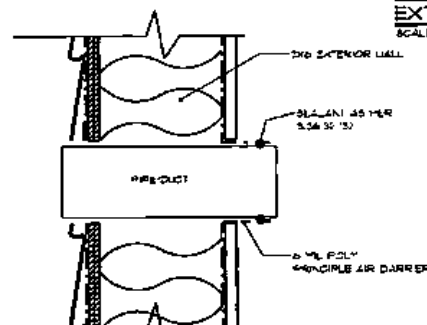
**ELECTRICAL BOX DETAIL**



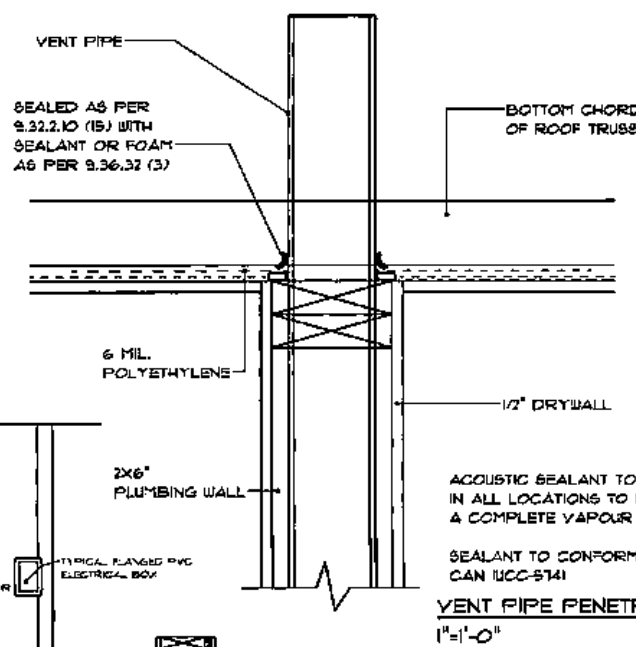
**ATTIC HATCH DETAIL**

SCALE: NTS

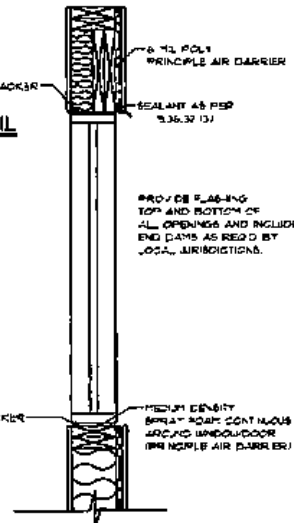
	RS	R
1. 2" (1/2" MIN.) EXTRUDED POLYSTYRENE	2.625	14.34
2. 6 MIL. POLYETHYLENE VAPOR BARRIER	0.00	0.00
3. 1/2" PARTICLEBOARD	0.075	0.43
EFFECTIVE R-VALUE OF ENTIRE ASSEMBLY	2.7	15.19



**TYPICAL PIPE/DUCT PENETRATION DETAIL**



**VENT PIPE PENETRATION**



**TYPICAL WINDOW/DOOR INSTALLATION AND SEAL**



OWNER: **HERMANN CABIN**

MODEL: **CUSTOM**

DATE: **DEC 2024**

DESIGNED BY: **BRAD J. ALLEN**

SCALE: **1"=1'-0"**

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## CONSTRUCTION SPECIFICATIONS

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### 1 ROOF CONSTRUCTION

ROOF FINISH AS PER ELEVATIONS  
BUILDING PAPER  
1/2" SPRUCE PLYWOOD C/W H-CLIP/SOR 12" O.S.B.  
ENGINEERED APPROVED TRUSSES @ 24" O.C.  
1" X 4" SPRUCE TRUSS BRACING @ 10' O.C.  
NAILED TO BOTTOM CHORD  
R60 FRICTION FIT BATT INSULATION/LOOSE FILL  
INSULATION C/W INSULATION STOPPS  
6 mil POLY VAPOUR BARRIER  
5/8" DRYWALL W/CEILING FINISH  
PROVIDE EAVE PROTECTORS  
ALUMINUM EAVESTROUGH  
ALUMINUM FASCIA ON WOOD BACKING  
VENTED ALUMINUM SOFFITS  
ATTIC VENT 1:300 OF INSULATED CEILING AREA

NOTE: ANY SOFFIT PROJECTING INTO A 12 M SIDEWALK MUST HAVE NO OPENINGS AND BE PROTECTED WITH NON-COMBUSTIBLE MATERIALS AS PER 3.2.3.6 (16) A.B.C.

### 2 FRAME WALL CONSTRUCTION

EXTERIOR FINISH AS PER ELEVATION  
#15 BUILDING PAPER  
3/8" SPRUCE SHEATHING/O.S.B.  
2" X 6" KILN DRIED SPRUCE STUDS @ 16" O.C.  
FRICTION FIT BATT/LOOSE FILL INSULATION  
6 mil POLY VAPOUR BARRIER  
1/2" INTERIOR DRYWALL (SEE ENERGY DETAIL)

### 3 BRICK/STONE VENEER CONSTRUCTION

(WHERE APPLICABLE)  
4" BRICK SUPPORTED ON 4" X 4" X 1/2" STEEL ANGLE  
BOLTED TO FOUNDATION WALL @ 12" O.C. OR  
CULTURED STONE APPLIED AS PER MANUF. SPEC  
1/2" AIR SPACE  
1" X 1" X 22 GA. METAL TIE @ 16" O.C. HORIZONTAL  
1/4" O.C. VERTICAL  
#15 BUILDING PAPER  
3/8" SPRUCE SHEATHING/O.S.B.  
2" X 6" KILN DRIED SPRUCE STUDS @ 16" O.C.  
R24 FRICTION FIT BATT INSULATION  
6 mil POLY VAPOUR BARRIER  
1/2" INTERIOR DRYWALL W/FINISH  
PROVIDE WEEP HOLES 24" O.C. FOR BOTTOM  
COURSE ONLY

### GENERAL NOTES

- ENTRANCE DOORS TO BE SOLID CORE IN ACCORDANCE WITH PROVINCIAL BUILDING CODES.
- FINISH WOOD RAILINGS/PICKETS MAXIMUM 4" O.C.
- CAPPED DRYER VENT. MUST BE VENTED OUTSIDE
- INSULATED ATTIC ACCESS MATCH 20" X 26" C/W DOOR
- TOP OF FIREPLACE CHIMNEY SHALL BE 3'0" ABOVE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF 2'0" ABOVE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 10' 0" FROM CHIMNEY
- LINEN CLOSET - 4 SHELVES MIN. 12" DEEP
- CARBON MONOXIDE ALARM ON ANY FLOOR WITH SLEEPING ROOMS
- SMOKE ALARMS IN ALL BEDROOMS

### 4 INTERIOR STUD PARTITIONS

(NON LOAD BEARING)

2" X 4" STUDS @ 16" O.C.  
1/2" INTERIOR DRYWALL BOTH SIDES  
2" X 4" SPRUCE TOP PLATES  
NOTE: PROVIDE BLOCKING FOR TRACK WHERE B-PASS  
DOORS INSTALLED

### 5 BEARING STUD PARTITIONS

2" X 6" KILN DRIED STUDS (SPRUCE) @ 16" O.C.  
2" X 6" SPRUCE BOTTOM PLATE  
2" X 6" SPRUCE TOP PLATE (OPTIONAL 2" X 6" WALL WHEN REQUIRED FOR HEATING DUCTS GREATER THAN 5" DIA.)

### 6 FLOOR CONSTRUCTION

FINISH FLOOR ON 3/8" F.R. PLYWOOD UNDERLAY (OR EQUIV.)  
3/4" T&G PLYWOOD SUBFLOOR (SCREW) 1 BLUE-OR 23/32" O.S.B.  
FLOOR JOISTS TO BE #2 S.P.F. / D.F. OR ENGINEERED FLOOR TRUSSES  
(CROSS BRIDGING OR SOLE BLOCKING TO BE CONTINUOUS  
1" X 4" OR 2" X 2" @ 10' O.C. MAX. FOR STANDARD FLOOR ONLY)  
PROVIDE BUILDING ANCHORAGE BY CASTING IN MIN. 2X4 LADDER BOX

### 7 TELEPOSTS

3" DIA. STEEL TELEPOST C/W 6" X 6" X 5/8" BEARING PLATE  
40" X 40" X 10" CONCRETE PAD FOOTING OR AS PER  
FLOOR DESIGN ENGINEERING

### 8 FOUNDATION WALLS/FOOTINGS

8" WIDE CONCRETE WALL C/W 2 HORIZONTAL ROWS (MIN)  
10M STEEL REBAR TOP & BOTTOM OR AS PER ENG. DUGS.  
16" X 8" REINFORCED CONCRETE STRIP FOOTING C/W 2" X 4"  
KEY (CAST IN NOT TROWELLED)  
ALL CONCRETE TO BE #6 32MPa SULPHATE-RESISTANT C/W 20mm AGGREGATE  
NOTE: FOOTING TO BE PLACED ON UNDISTURBED OR COMPACTED  
SOIL MINIMUM 4'-0" BELOW GRADE DAMP PROOF EXTERIOR.  
PROVIDE EMBEDDED GALVANIZED STEEL FRAMING STRAP @ 48" O.C.

FOR ETR RATINGS FOR WALLS, CEILINGS AND FLOORS PLEASE REFER TO DETAIL SHEET

### 9 WEEPING TILE

2" DIAMETER WEEPING TILE  
6" CRUSHED STONE OVER

### 10 BASEMENT FLOOR

3" THICK CONCRETE/COMPATTE 50 C/W 20mm AGGREGATED  
MIN 4" RADON ROCK C/W RADON VENTILATION PIPING  
TO GUMP BARREL OR 4" CAPPED STAND PIPE. GUMP BARREL  
TO BE AIR TIGHT.  
IF FLOOR IS HEATED STYROFOAM WITH A MINIMUM RSI  
VALUE OF 2.04 (R-16) MUST BE ADDED TO THE ASSEMBLY.

### 11 FRAMED BASEMENT WALL

2" X 6" KILN DRIED SPF STUDS @ 24" O.C.  
R24 FRICTION FIT BATT INSULATION C/W  
6mil POLY VAPOUR BARRIER  
(SEE DETAIL SHEET FOR THERMAL PROPERTIES)

### 12 GRADE BEAM

AS PER ENGINEER'S DRAWINGS

### 13 FILES

SIZE AS PER FOUND PLAN REIN W/ 10M VERTICALLY EXTEND & BEND  
OR AS PER ENGINEER'S DRAWINGS

### 14 GARAGE FLOOR

4" #5 32MPa SULPHATE-RESISTANT CONC. SLAB W/ 10M 24" O.C. BOTH WAYS  
6" COMPACTED PIT RUN SAND OR GRAVEL  
SLOPE FLOOR TO FRONT IN OR 4"  
10M 20" O.C. PLACED 20" INTO GRADE BEAM (FOUNDATION WALL)  
IF FLOOR IS HEATED STYROFOAM WITH A MINIMUM RSI  
VALUE OF 2.04 (R-16) MUST BE ADDED TO THE ASSEMBLY.

### 15 SEPARATION WALLS

5/8" FIREGUARD ONLY ON WALLS AND CEILING OF GARAGE  
DIRECTLY SEPARATING THE GARAGE FROM HABITABLE SPACE  
TAPE AND SEAL ALL JOINTS  
PROVIDE R24 FRICTION FIT BATT/LOOSE FILL INSULATION C/W 6mil  
POLY VAPOUR BARRIER FOR WALLS  
PROVIDE R60 FRICTION FIT BATT/LOOSE FILL INSULATION C/W 6mil  
POLY VAPOUR BARRIER FOR CEILINGS

GARAGE WALLS AND CEILING TO BE INSULATED AND  
DRYWALLED C/W MUD AND VAPOUR BARRIER

ENGINEERING OF ANY COMPONENT  
WILL SUPERCEDE THIS SPECIFICATION

FURNACE VENTING FOR FRESH AIR & COMBUSTION TO BE  
LOCATED ON SITE  
ELECTRICAL PANEL TO BE LOCATED ON SITE  
NON-HARDENING CAULKING COMPOUND TO BE USED  
OVER AND AROUND ALL EXTERIOR OPENINGS  
PLUMBING ACCESS OF 6" X 30" TO BE PROVIDED FOR TUBS AND SHOWERS  
ALL WORKMANSHIP TO BE A STANDARD EQUAL IN  
ALL RESPECTS TO GOOD BUILDING PRACTICE IN ACCORDANCE WITH N.B.C.  
APPLICABLE PROVINCIAL BUILDING CODES  
SIDING/STUCCO TO BE 8" ABOVE FINISH GRADE  
FRAME 2" CLEAR OF FIREPLACE  
PROVIDE MIN. 30" X 30" GUMP PIT C/W GUMP COVER/POWER  
SUPPLY. LOCATE NEAR OUTSIDE BENT. WALL C/W DISCHARGE  
LINE AND SPLASH PAD. CONNECT WEEPING TILE AND FLOOR DRAIN  
(C/W BACK WATER VALVE) TO PIT



CLIENT: HERMANN CABIN	
MODEL: CUSTOM	
DATE: DEC 2024	SCALE: 1/8" = 1'-0"
BY: [Signature]	CHECKED: [Signature]
DRAWN BY: BRAD & JUSTIN	
REVISIONS:	

REVISIONS:

1. REVISIONS SHALL BE A GRAPHIC REPRESENTATION ONLY. ACTUAL PROJECTS AND MATERIALS MAY VARY FROM DESIGN OR DRAWING.

2. REVISIONS SHALL BE APPROVED BY THE CLIENT AND THE ARCHITECT/ENGINEER.

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